



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Architectural Review Board

FROM: Laurel O'Halloran, Associate Planner

MEETING DATE: November 28, 2017

ADDRESS: 1124 Surf Avenue Pacific Grove (APN 006-022-009)

**ZONING/
LAND USE:** R-1-H//Medium Density to 17.4 DU/ac

SUBJECT: Architectural Permit Application No. 17- 735 To allow the demolition of the existing 1,842 square foot residence and to build a 2,964 two story residence.

APPLICANT/OWNER: Jeanne Byrne, Architect on behalf of Bill and Charity George, Owners

CEQA STATUS: Categorical Exemption; §15301

PROJECT DESCRIPTION

Architectural Permit 17-735 would allow the demolition of the existing 1,842 square foot residence and to build a 2,964 square foot two story residence

BACKGROUND

On July 27, 2017 Jeanne Byrne applied for an Architectural Permit to allow the demolition of the existing single story residence located at 1124 Surf Avenue.

The proposed development will meet the development regulations set forth in the R-1-H zoning district including setbacks and height requirements.

At the May 8, 2013 Historic Resource Committee meeting it was determined the residence was ineligible for the Historic Resource Inventory.

The subject site is located in an Archeological sensitive area and an Archeological report was prepared by Susan Morley, M.A. in September of 2017 and determined the subject parcel does not contain evidence of potentially significant cultural resources.

The residence is also located in an Area of Special Biological Significance

DISCUSSION

The subject residence is a single-story wood framed plain structure that was built in 1959. At the May 8, 2013 Historic Resource Committee meeting it was determined the residence was ineligible for the Historic Resource Inventory.

The property is located in the Archaeological Zone and in an Area of Special Biological Significance

The following General Plan, Archaeological Resources, Chapter 7 and Chapter 8, goals, policies, and programs are applicable to the Architectural Permit application.

Program AA Inspect the surface of sites which potentially contain archaeological resources and evaluate site records to determine the extent of the known archaeological resources.

Policy 2 Continue to require citywide architectural review for exterior changes to existing structures.

Program B While recognizing the individuality of existing neighborhoods encourage additions that contribute to the character of the area, while allowing for creativity in design.

Zoning Code:

The intention of the R-H district is to preserve the characteristics of a feeling of open space around dwellings and to preserve public views of the ocean, sky and trees. Therefore a roof above 18' shall have a pitch no less than 3:12. The proposed project meets this requirement. The allowable maximum building coverage is 35% and the proposed project site will have a building coverage of 28%. The allowable maximum site coverage is 60% and the proposed project site will have site coverage of 30%. The allowable maximum gross floor area is 3,028 sf and the proposed project site will create a 2,964 sf residence.

Trees and Landscaping:

No tree removal is being proposed as part of this development. The City Arborist will insure that tree protection measures are being met.

Architectural Design Guidelines:

The project proposal appears to adhere to the following Architectural Review Guidelines:

Architectural style and design:

Diverse architectural styles lie at the heart of Pacific Grove's distinctive character. New construction should be compatible with established styles.

Guideline # 1: The mass and height of a new building should blend well with neighboring structures and not overwhelm them with disproportionate size or a design that is out of character.

The proposed design aligns proportionately with neighboring structures.

Guideline #27: A building should be in scale with its site.

The proposed design provides open space around the residence which complements the design and preserves the character of the neighborhood.

Guideline #36: Design a façade to provide visual interest to the street.

The proposed design avoids large blank facades and the addition of the deck and the combination of siding elements softens the elevation.

Details:

The proposed project will have new stained shingle siding. The windows will be aluminum clad wood windows. There is a proposed new stained wood entry door with tempered glass lites.

Archaeological Review:

Susan Morley, MA prepared an Archaeological Report in September of 2017. The findings were that there was no evidence of cultural resources in the soils of this project parcel. There are no marine shell fragments present; there are no cobbles or thermally affected rock, or other indicators expected for a site in this area. Based upon these negative findings there is no reason to delay the project due to archaeological concerns.

If archaeological resources or human remains are inadvertently encountered during construction, work shall be halted within 50 meters of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the City of Pacific Grove staff, and implemented

ENVIRONMENTAL REVIEW

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301(e) (1) – Existing Facilities. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations do not constitute a substantial adverse change to the structure, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

RECOMMENDATION

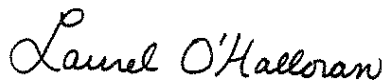
Because of the project's consistency with the Zoning Ordinance and General Plan, and minimal impact on surrounding properties, staff recommends that the Architectural Review Board:

APPROVE AP No 17-735 pursuant to PGMC 23.70.060(c) (1) and subject to the attached Findings and Conditions.

ATTACHMENTS

- A. Permit Application
- C. Draft Permit
- E. CEQA Documentation
- F. Project Plans

RESPECTFULLY SUBMITTED:



Laurel O'Halloran
Associate Planner



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # 17-735

Date: 7-27-17

Total Fees: \$ 3,481.30

APPLICANT/OWNER:

Project Address: 1124 SURF AVE. APN: 006-022-009

Project Description: NEW 2-STORY SINGLE FAMILY RESIDENCE TO REPLACE (E) TO BE REMOVED.

Tree Work? [] Yes [x] No

Applicant

Owner

Name: JEANNE C. BYRNE, FAIA ARCHITECTS

Name: BILL & CHARITY GEORGE

Phone: 372 6585

Phone: 916-929-7857

Email: JOBARCHFAIA@ATT.NET

Email:

Mailing Address: 591 LIGHTHOUSE AVE. #5 PACIFIC GROVE, CA 93950

Mailing Address: 1319 FITCH WAY SACRAMENTO, CA 95864

PLANNING STAFF USE ONLY:

Permit Request:

- Permit request options: CRD, AP, AAP, ADC, ASP, SP, UP, AUP, ADU, LLA, LM, IHS, HPP, A, TPD, PUU, VAR, MMP, Stormwater Permit, Other.

CEQA Determination:

- CEQA options: Exempt, Initial Study & Mitigated Negative Declaration, Environmental Impact Report.

Review Authority:

- Review Authority options: Staff, HRC, ZA, PC, SPRC, CC, ARB.

Active Permits:

- Active Permits options: Active Planning Permit, Active Building Permit, Active Code Violation.

Overlay Zones:

- Overlay Zones options: Butterfly Zone, Coastal Zone, Area of Special Biological Significance (ASBS), Environmentally Sensitive Habitat Area (ESHA).

Property Information

Lot: 7 Block: 271 Tract: PG Beach Lot
ZC: R-I-H GP: Med Dens 17.4 du/ac Lot Size: 6,390 sf

- Historic Resources Inventory [] Archaeologically Sensitive Area [x]

Staff Use Only:

Received by: Laurel Assigned to: Laurel

PAID 3,481.30 CITY OF PACIFIC GROVE COMMUNITY DEV DEPT 7-27-17

CERTIFICATION - I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

I further acknowledge it is my responsibility to determine whether additional permits are required.

Applicant Signature: [Signature]

Date: 07-26-17

Owner Signature (Required): [Signature]

Date: 5/15/2017

PROJECT DATA SHEET

Project Address: 1124 SURF AVE.Submittal Date: 07-26-17Applicant(s): JOB ARCHITECTSPermit Type(s) & No(s): AP 17-735

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1-B			
Building Site Area	8180	6,390		
Density (multi-family projects only)				
Building Coverage <u>35% 2,736.</u>	2556	1842	1742	28%
Site Coverage <u>60%</u>	4908	2,831	2,456	
Gross Floor Area	3028	1842	2964	
Square Footage not counted towards Gross Floor Area	—	-	-	
Impervious Surface Area Created and/or Replaced	—	—	728	
Exterior Lateral Wall Length to be demolished in feet & % of total*	—	—	— ft/100%	
Exterior Lateral Wall Length to be built	—	—		
Building Height	25'	15'	24' 11"	
Number of stories	2	1	2	
Front Setback	15'	14'	15' 6"	
<u>EAST</u> Side Setback (specify side)	7' 2"	11' 8"	21' 10"	
<u>WEST</u> Side Setback (specify side)	7' 2"	12' 1"	16' 5"	
Rear Setback	10'	7' 11"	10' 4"	
Garage Door Setback	20'	20'	20'	
Covered Parking Spaces	1	2	2	
Uncovered Parking Spaces	1	2	2	
Parking Space Size (Interior measurement)	9' x 20'	18' x 20'	20' x 20'	
Number of Driveways	1	1	1	
Driveway Width(s)		11'	18'	
Back-up Distance		27'	27'	
Eave Projection (Into Setback)	3' maximum		1' 6"	
Distances Between Eaves & Property Lines	3' minimum		8' 6"	
Open Porch/Deck Projections	—	-	-	
Architectural Feature Projections	—	-	-	
Number & Category of Accessory Buildings	-	-	-	
Accessory Building Setbacks	-	-	-	
Distance between Buildings	-	-	-	
Accessory Building Heights	-	-	-	
Fence Heights	6'	6'	6'	

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

ARCHITECTURAL PERMIT (AP) 17-735

FOR A PROPERTY LOCATED AT 1124 SURF AVENUE TO ALLOW THE DEMOLITION OF THE EXISTING 1,842 SQUARE FOOT RESIDENCE AND TO BUILD A 2,964 TWO STORY RESIDENCE.

FACTS

1. The subject site is located at 1124 Surf Avenue Pacific Grove, 93950 APN 006-022-009
2. The subject site has a designation of Medium Density 17.4 du/ac on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1-H zoning district.
4. The subject site is approximately 6,390 square feet.
5. The subject site is developed with a 1,842 square foot single-story single family dwelling.
6. At the May 8, 2013 Historic Resource Committee meeting it was determined the residence was ineligible for the Historic Resource Inventory.
7. The subject site is located in an Archeological sensitive area and an Archeological report was prepared by Susan Morley, M.A. in September of 2017 and determined the subject parcel does not contain evidence of potentially significant cultural resources
8. The subject site is located in the Area of Special Biological Significance Watershed (ASBS).
9. This project has been determined to be CEQA Exempt under CEQA Guidelines Section 15301(e) (1).

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1-H zoning district including setbacks and height requirements and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines 1, 27, 36 and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

PERMIT

Architectural Permit (AP) 17-735:

To allow the demolition of the existing 1,842 square foot residence and to build a 2,964 two story residence.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.

2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the Community and Economic Development (C&ED) Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
6. **Stormwater Treatment Measure:** The stormwater treatment measures shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.
7. **Best Management Practices:** An erosion and sediment plan is required as part of the building plan submittal.
8. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12
9. **Archeology.** If archaeological resources or human remains are discovered during construction, work shall be halted within 50 meters of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the City of Pacific Grove staff, and implemented.
10. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.
11. **Story Poles and Netting:** Following the 10 day appeal period all story poles and netting are required to be removed.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of Architectural Permit (AP) 17-187
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 28th day of November, 2017, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Bill George, Owner

Date



CITY OF PACIFIC GROVE
Community Development Department – Planning Division
300 Forest Avenue, Pacific Grove, CA 93950
T: 831.648.3190 • F: 831.648.3184 • www.ci.pg.ca.us/cdd
NOTICE OF EXEMPTION FROM CEQA

Property Address/Location: 1124 Surf, Pacific Grove, CA 93950

Project Description: AP 170736

Description: To allow the demolition of the existing 1,842 square foot residence and to build a 2,964 two story residence.

APN: 006022009000

ZC: R-1-H

Lot Size: 6,390 SF

Applicant Name:	Jeanne Byrne	Phone #:
Mailing Address:	591 Lighthouse Avenue	
Email Address:		

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1):15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption
Type and Section Number:
- Statutory Exemption
Type and Section Number: Class 1 Section 15301 (e)
- Other:

Exemption Findings:

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301(e) (1) – Existing Facilities. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations do not constitute a substantial adverse change to the structure, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

Contact: Laurel OHalloran, Planning Department, City of Pacific Grove

Contact Phone: (831) 648-3183

Signature: Jeanne O'Halloran

Date: September 12, 2017

Google Maps 1119 Surf Ave



Image capture: Jun 2011 © 2017 Google United States

Pacific Grove, California

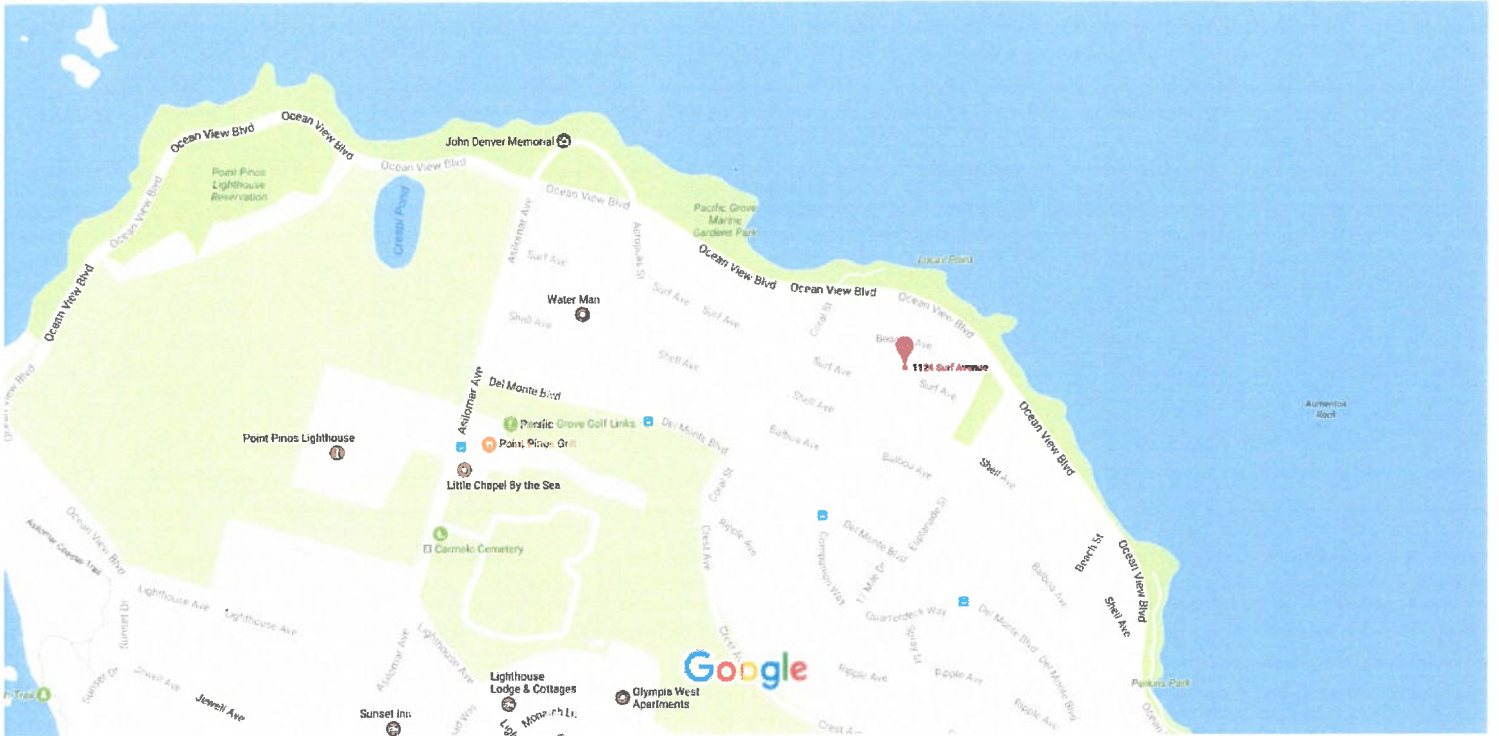


Google, Inc.

Street View - Jun 2011



1124 Surf Ave



Map data ©2017 Google United States 200 ft

GEORGE RESIDENCE

PROJECT DATA:

OWNER: BILL & CHARITY GEORGE
 PROJECT ADDRESS: 1124 SURF AVE.
 PACIFIC GROVE, CA 93950
 A.P.N.: 006-022-009
 MAILING ADDRESS: 1319 FITCH WAY
 SACRAMENTO, CA 95864
 TELEPHONE: 916-929-7857

ZONING INFORMATION:

LOT SIZE: 8,180 SQ. FT.
 ZONING: R-1-B
 SETBACKS: FRONT YARD: 15'
 SIDE YARD (EAST): 7'-2"
 SIDE YARD (WEST): 7'-2"
 REAR YARD: 10'
 HEIGHT LIMIT: 25'
 LOT COVERAGE: 40% = 2,556 SQ. FT.
 F.A.R.: 3,028 SQ. FT.
 CODES: ALL CONSTRUCTION WORK SHALL COMPLY WITH 2016 CRC, CEC, CFC, CMC, CPC, & TITLE 24.

EXISTING RESIDENCE-(REMOVE)

(E) MAIN HOUSE (REMOVE): 1,550 SQ.FT.
 (E) GARAGE (REMOVE): 292 SQ.FT.
 BUILDING LOT COVERAGE (REMOVE): 1,842 SQ.FT. = 22.5%

PROPOSED PROJECT

1ST FLOOR - LIVING AREA: 1,022 SQ.FT.
 1ST FLOOR - GARAGE: 686 SQ.FT.
 (N) 2ND FLOOR - OUTLINE: 1,404 SQ.FT.
 < LESS STAIR & OPEN AREA >
 TOTAL HOUSE: 2,964 SQ.FT.
 TOTAL LIVING AREA: 2,278 SQ.FT.
 TOTAL BUILDING LOT COVERAGE: 1,742 SQ.FT. = 21.3%
 TOTAL F.A.R.: 2,964 SQ. FT.
 (N) ADJUSTED PAVING COVERAGE: 714 SQ.FT = 8.7%
 (N) TOTAL SITE COVERAGE: 2,456 SQ.FT. = 30.0%

PROJECT DESCRIPTION:

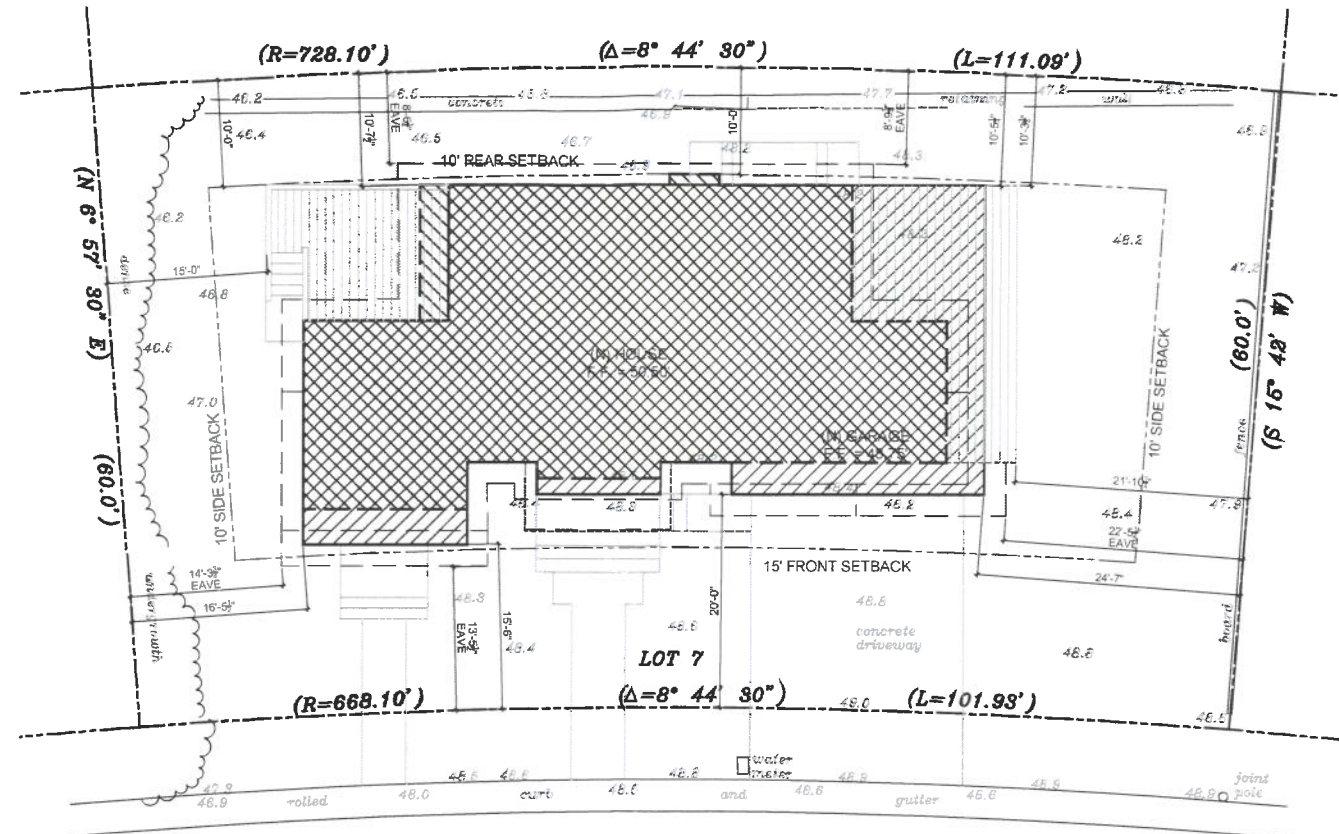
REMOVE EXISTING NON-HISTORIC, HOUSE AND RELATED SITE IMPROVEMENTS (i.e. DECKS & WALKWAY). BUILD NEW SINGLE FAMILY RESIDENCE WITHIN CURRENT ZONING REQUIREMENTS TO REPLACE THE REMOVED HOUSE.

FIRE /SPRINKLER NOTE:

PROVIDE NFPA-13D APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT STRUCTURE AS REQUIRED BY THE PACIFIC GROVE FIRE DEPARTMENT. DESIGN AND LAYOUT TO BE SUBMITTED BY FIRE SPRINKLER CONTRACTOR TO THE FIRE MARSHAL FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. FIRE SPRINKLER CONTRACTOR TO TEST WATER PRESSURE FOR REQUIRED FLOW PRIOR TO SPRINKLER DESIGN.

NOTE:




- AIR POLLUTION CONTROL CLEARANCE IS REQUIRED FOR DEMOLITION OF EXISTING HOUSE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE REQUIRED CLEARANCE AND SUBMIT IT TO THE CITY BUILDING DEPARTMENT PRIOR TO DEMOLITION.
- A SURVEYOR'S LETTER IS REQUIRED BY THE CITY PRIOR TO FOUNDATION POUR. BUILDING CORNERS TO BE SET BY SURVEYOR PRIOR TO STARTING FOUNDATION WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A LETTER FROM THE SURVEYOR TO VERIFY THAT BUILDING CORNERS ARE WITHIN ALL REQUIRED SETBACKS AND MEET THE INTENT OF THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL PROVIDE LETTER AT TIME OF INSPECTION. A COPY OF THE LETTER SHALL BE GIVEN TO ARCHITECT'S OFFICE.



SURF

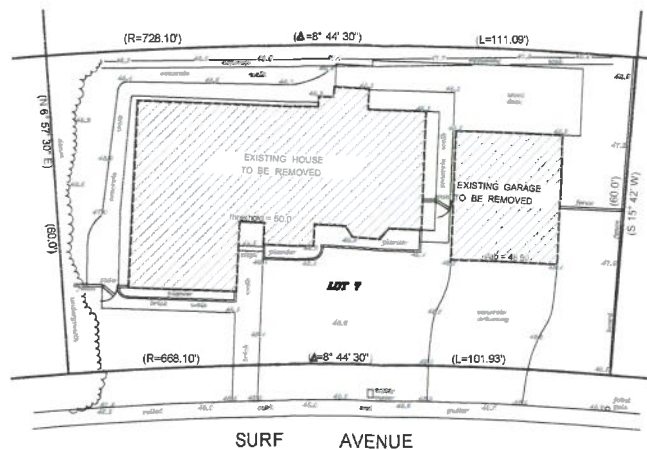
AVENUE

LEGEND:

-  1ST FLOOR
-  2ND FLOOR
-  DECK / PATIO

PROPOSED SITE PLAN

SCALE: 1/8"=1'-0"



SURF AVENUE

(E) SITE PLAN

SCALE: 1/16"=1'-0"

PROJECT DATA SHEET				
Project Address:	1124 SURF AVE.	Submittal Date:	07 26 17	
Applicant(s):	SEE ARCHITECTS	Permit Type(s) & No(s):		
Zone District:	R-1-B	Existing Condition:		Notes:
Building Site Area:	8180	Fragment Condition:		
Density (multi-family projects only):				
Building Coverage:	2556	1842	1142	
* Site Coverage:				
Gross Floor Area:	5128	1842	2724	
Square Footage not counted towards Gross Floor Area:				
Impervious Surface Area Created (and/or Reduced):			72.6	
Exterior Lateral Wall Length to be demolished in feet & % of total:			0/0%	
Exterior Lateral Wall Length to be built:				
Building Height:	25'	15'	28'	
Number of stories:	2	1	2	
Front Setback:	15'	15'	15'	
Side Setback (north):	7'-2"	11'-6"	21'-0"	
Side Setback (south):	7'-2"	11'-6"	15'-0"	
Rear Setback:	10'	7'-2"	10'-0"	
Garage Rear Setback:	15'-0"	15'-0"	15'-0"	
Covered Parking Spaces:	1	2	2	
Uncovered Parking Spaces:	1	2	2	
Parking Space Size (interior measurements):	9'-0"	18'-0"	23'-0"	
Number of Driveways:	1	1	1	
Driveway Width(s):	11'	11'	11'	
Back-up Distance:	27'	27'	27'	
East Easement (into Setback):	2' minimum	11'-6"		
Distances Between Eaves & Property Lines:	1' minimum	28'-6"		
Open Porch/Deck Projections:				
Architectural Feature Projections:				
Number & Category of Accessory Buildings:				
Accessory Building Setbacks:				
Distance between Buildings:				
Accessory Building Heights:	6'	6'	6'	

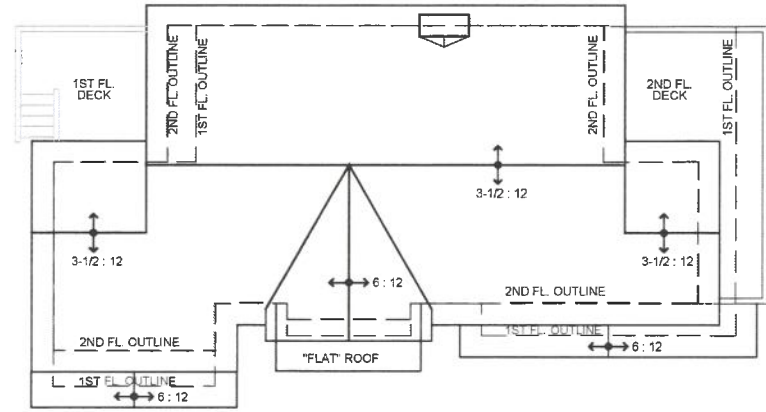
* If project proposes demolition in an AFD structure, also indicate: * as proposed demolition of the surface of all exterior walls facing a public area or street, if applicable.
 (Rev. 01/14/14)

JEANNE C. BYRNE, FAIA
 ARCHITECTS
 391 LIGHTHOUSE AVE., SUITE #5
 PACIFIC GROVE, CALIFORNIA 93950
 (833) 372-0385 FAX (833) 372-8159

SITE PLAN
 PROJECT DATA

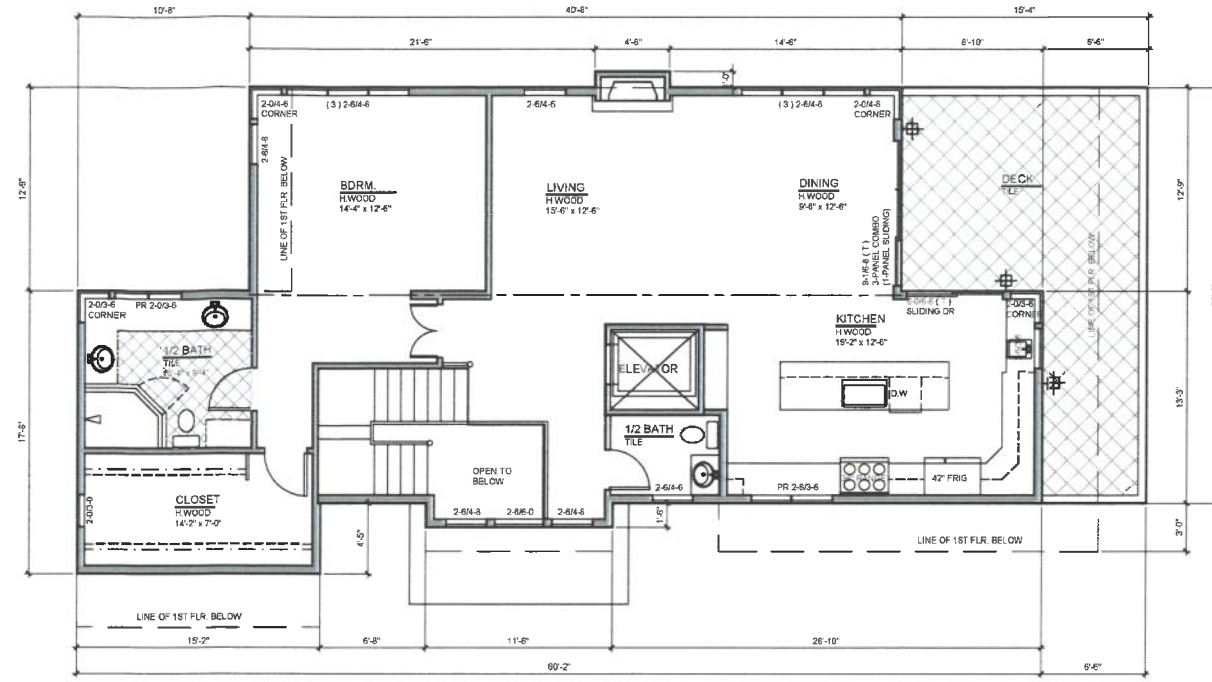
REVISED FAMILY RECORDS FOR
 GEORGE
 1124 SURF AVENUE
 PACIFIC GROVE, CA 93950
 APN 006-022-009

A1.1



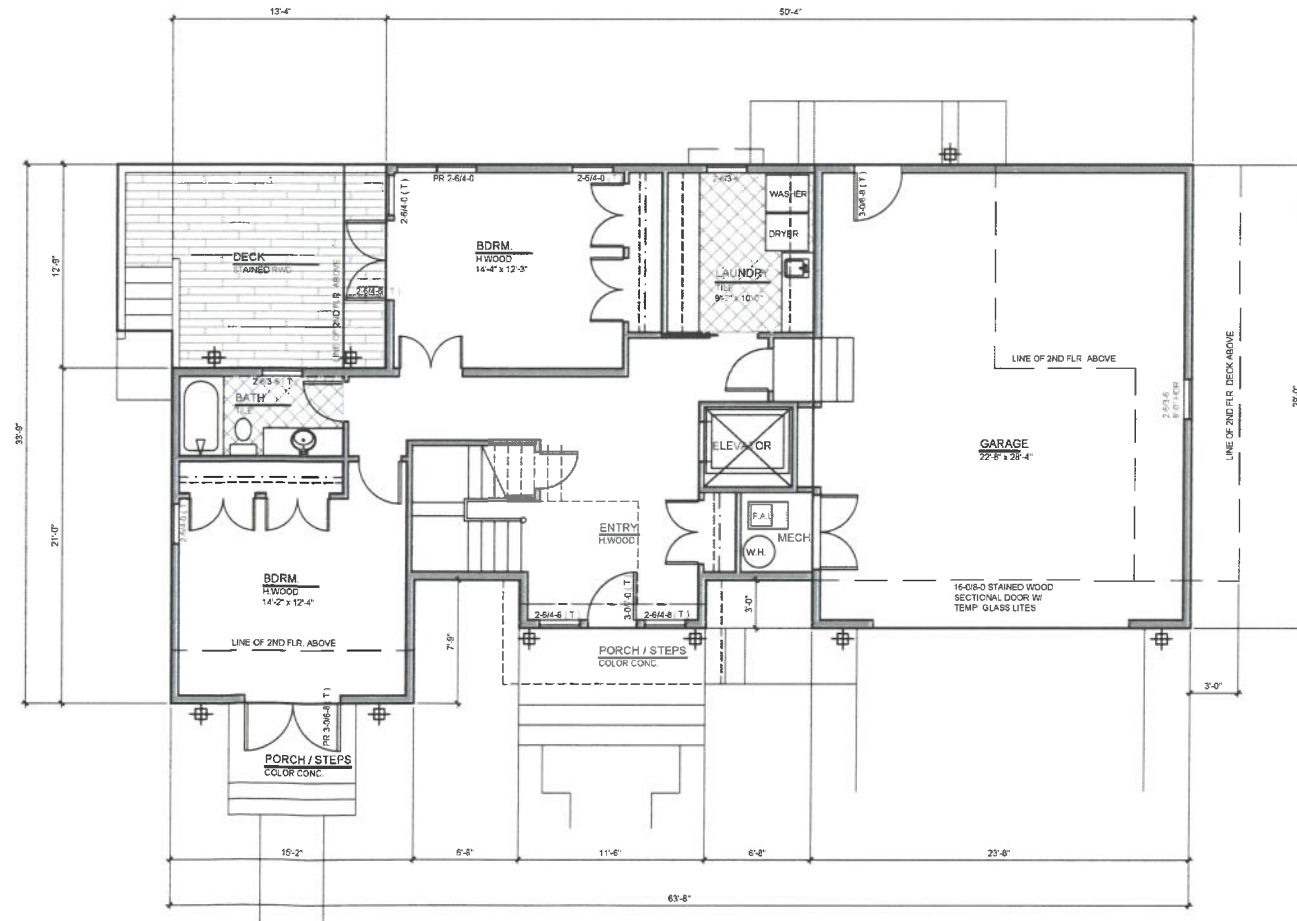
ROOF PLAN

SCALE: 1/8"=1'-0"



SECOND FLOOR PLAN

SCALE: 3/16"=1'-0"



FIRST FLOOR PLAN

SCALE: 3/16"=1'-0"

FLOOR PLAN LEGEND:

- NEW EXTERIOR WALLS. 2X6 STUDS @ 16" O.C. WITH R-19 BATT INSUL. 1/2" GYP. BD. AT INTERIORS, TYP., U.O.N. 2X6 STUDS AT PLUMBING WALLS AS REQUIRED. SEE PLAN.
- NEW CLAD WOOD WINDOWS. STAINED WOOD TRIM PER ELEVATIONS / DETAILS. (T) = TEMPERED GLASS
- DOORS PER PLANS AND ELEVATIONS. (T) = TEMPERED GLASS
- EXTERIOR WALL MOUNTED LIGHT FIXTURE. EXISTING TO REMAIN (NOT SHOWN) NEW PER OWNER SELECTION.

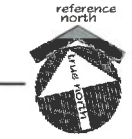
JEANNE C. BYRNE, FAIA
 ARCHITECTS
 1024/1026 AVENUE
 PACIFIC GROVE, CALIFORNIA 93950
 (805) 461-1000 FAX (805) 461-1002

FLOOR PLAN
 ROOF PLAN

NEW SINGLE FAMILY RESIDENCE FOR
GEORGE
 1024/1026 AVENUE
 PACIFIC GROVE, CA 93950
 A/P/1 000-002-009

DATE	11/11/2011
SCALE	A-PURVE
PROJECT	FAI
DESIGNER	JEANNE C. BYRNE

A2.1



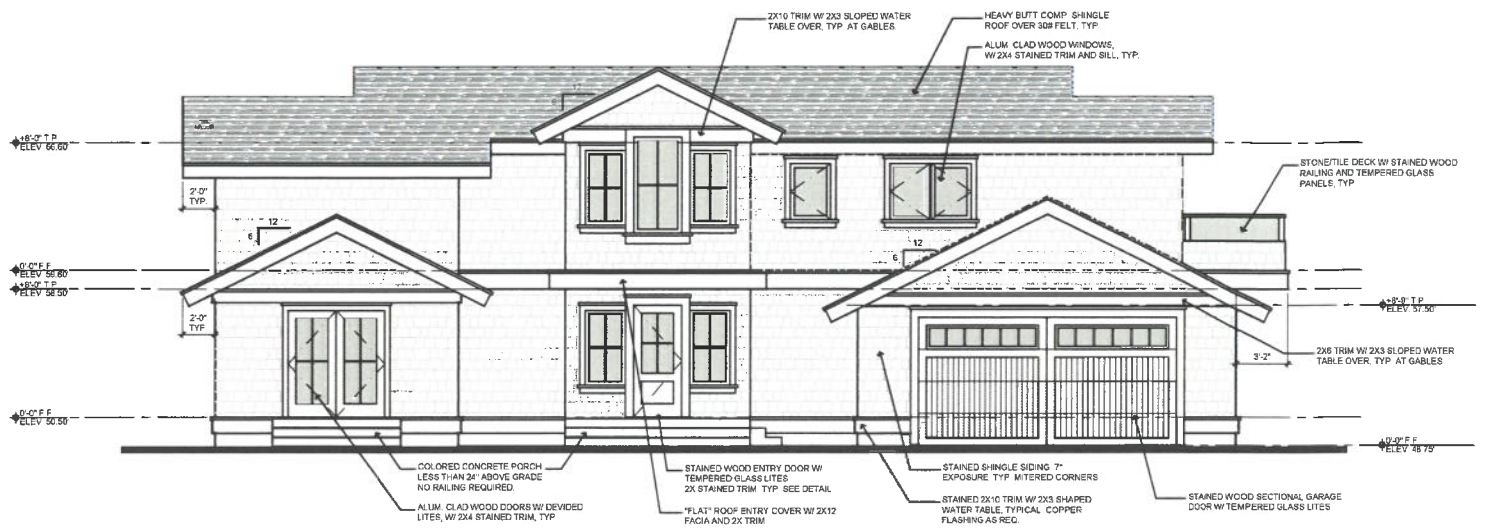
DATE	DATE
REVISION	REVISION
APPROVAL	APPROVAL
DATE	DATE

JEANNE C. BYRNE, FAIA
A R C H I T E C T S
 3911 LIGHTHOUSE AVE., SUITE #5
 PACIFIC GROVE, CALIFORNIA 93950
 (831) 537-0385 FAX (831) 537-8199

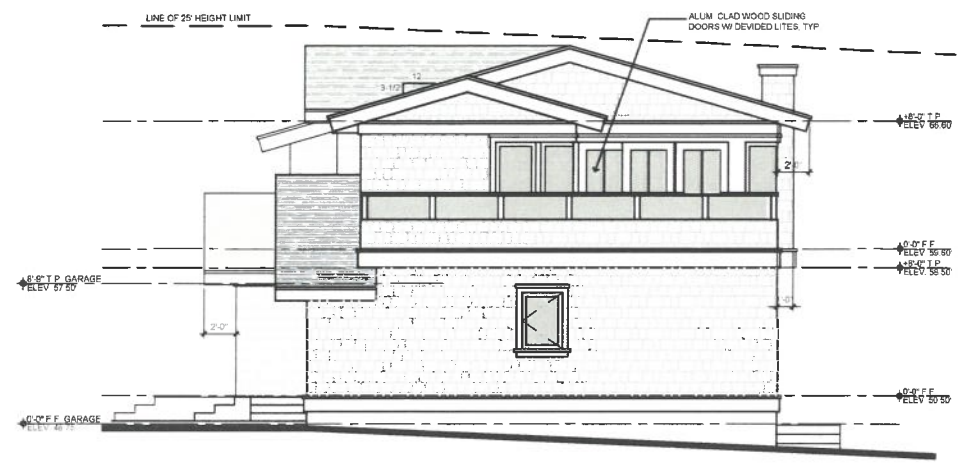
EXTERIOR ELEVATIONS

REVISIONS:
 NO. DATE BY
 1 11/15/17 JCB
 2 11/15/17 JCB
 3 11/15/17 JCB
 4 11/15/17 JCB
 5 11/15/17 JCB
 6 11/15/17 JCB
 7 11/15/17 JCB
 8 11/15/17 JCB
 9 11/15/17 JCB
 10 11/15/17 JCB

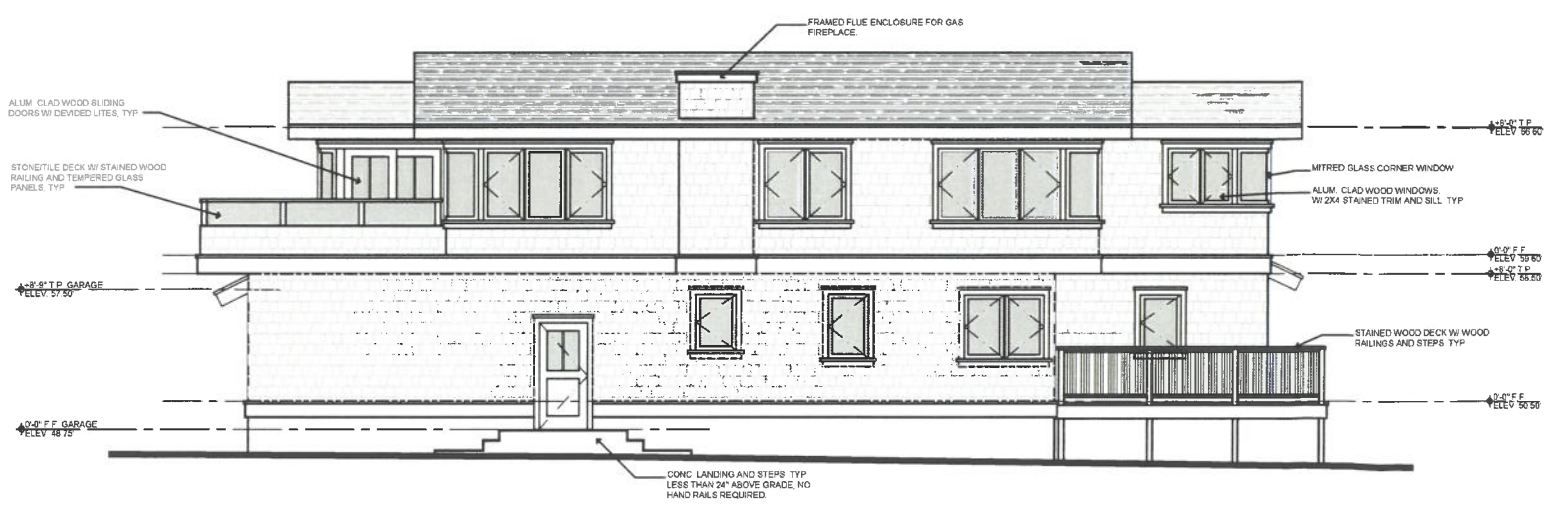
GEORGE
 1331 78th AVENUE
 PACIFIC GROVE, CA 93950
 APTA 1006 022 009



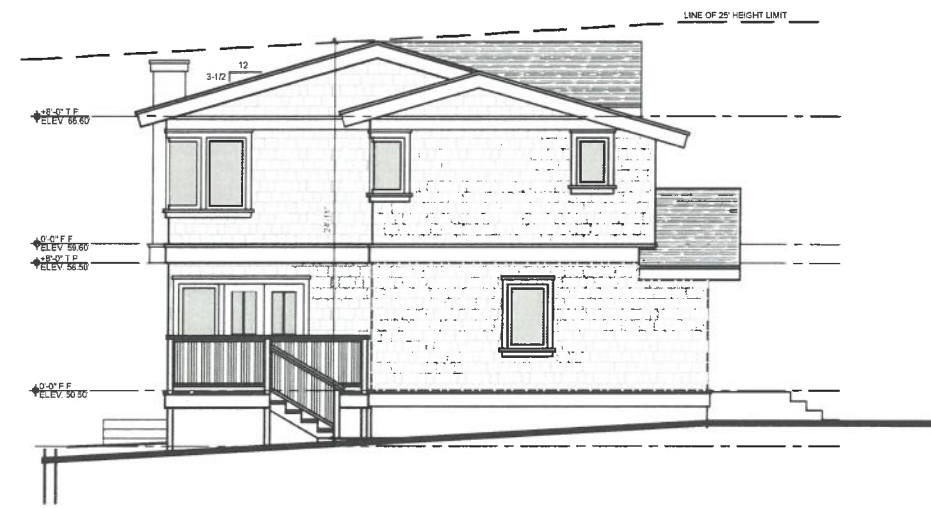
SOUTH ELEVATION
 SCALE: 3/16"=1'-0"



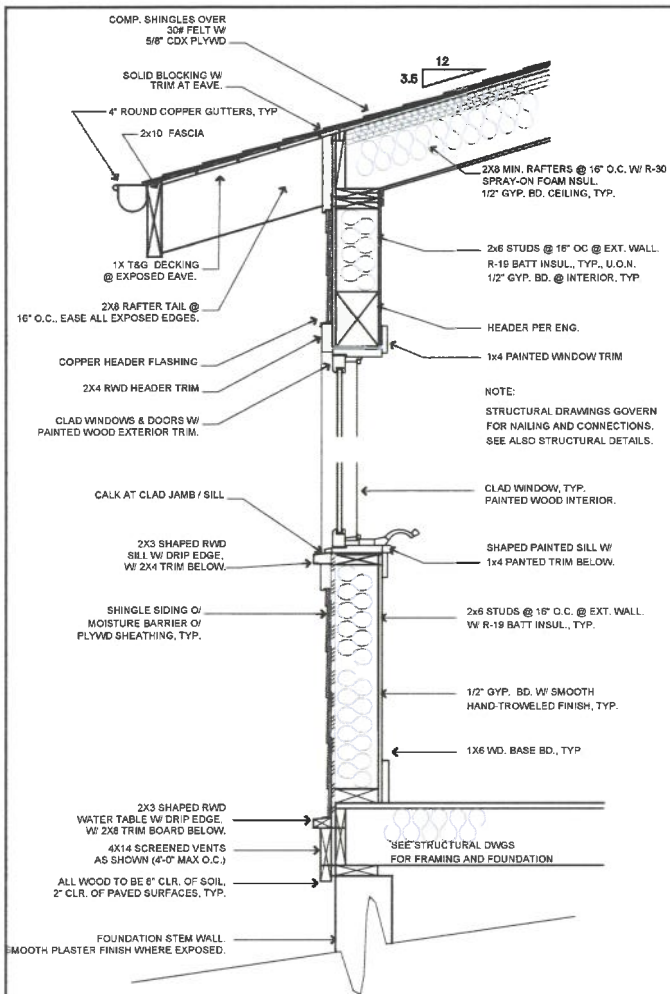
EAST ELEVATION
 SCALE: 3/16"=1'-0"



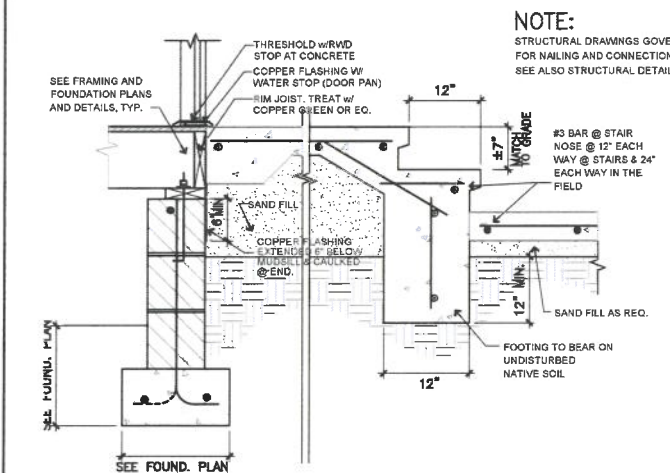
NORTH ELEVATION
 SCALE: 3/16"=1'-0"



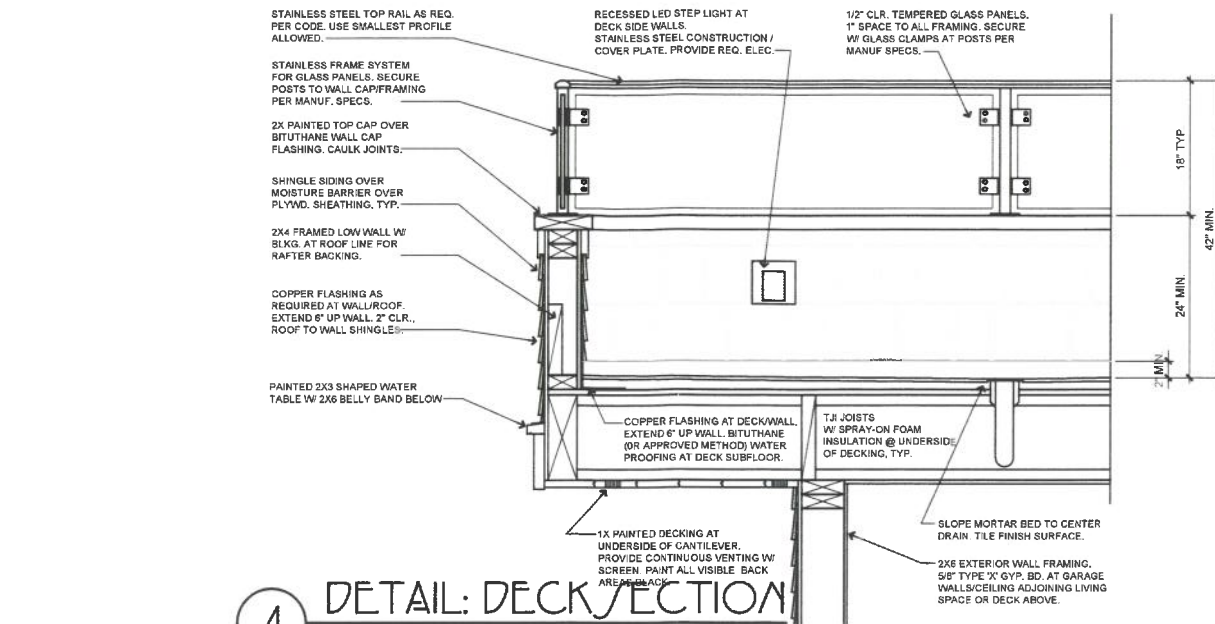
WEST ELEVATION
 SCALE: 3/16"=1'-0"



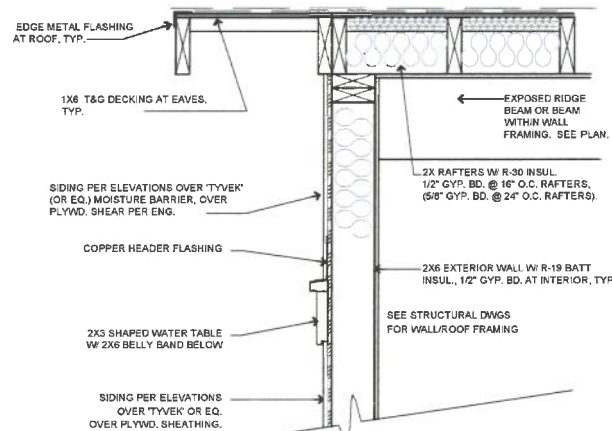
6 DETAIL: WALL SECTION
SCALE: 1"=1'-0"



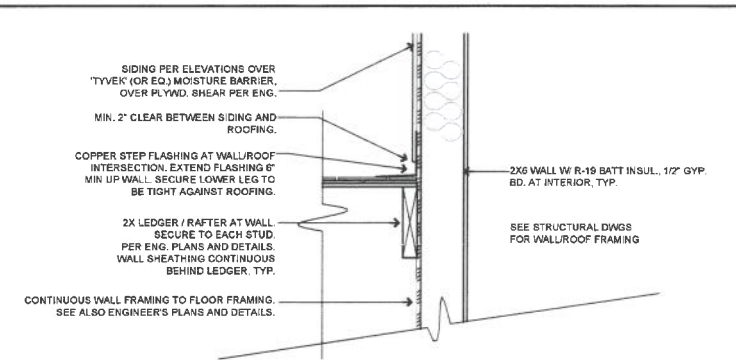
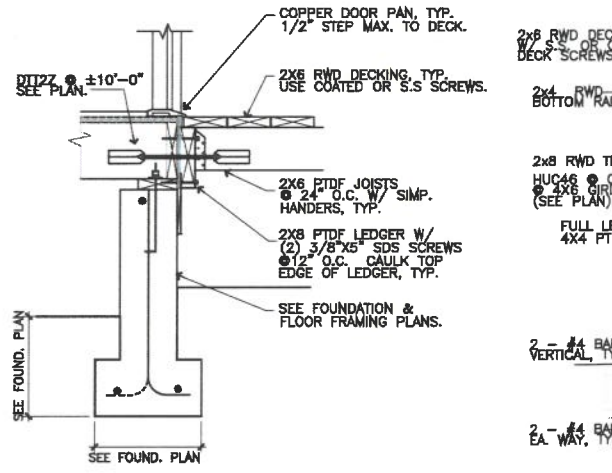
7 DETAIL: CONC. STEPS
SCALE: 1"=1'-0"



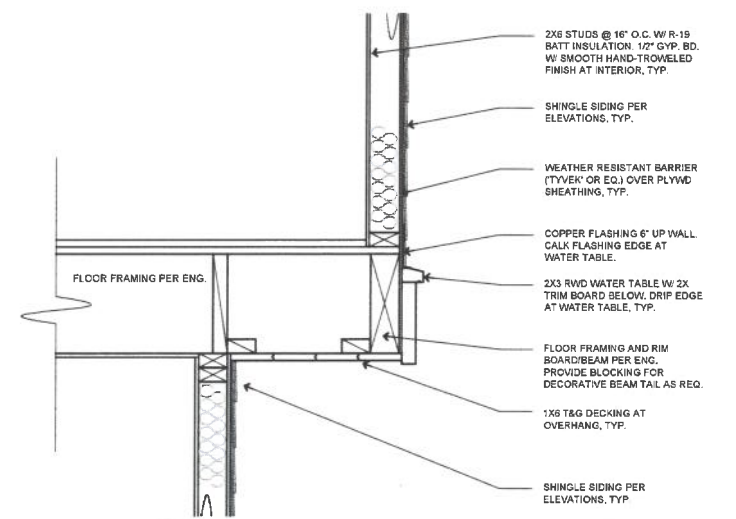
4 DETAIL: DECK SECTION
SCALE: 1"=1'-0"



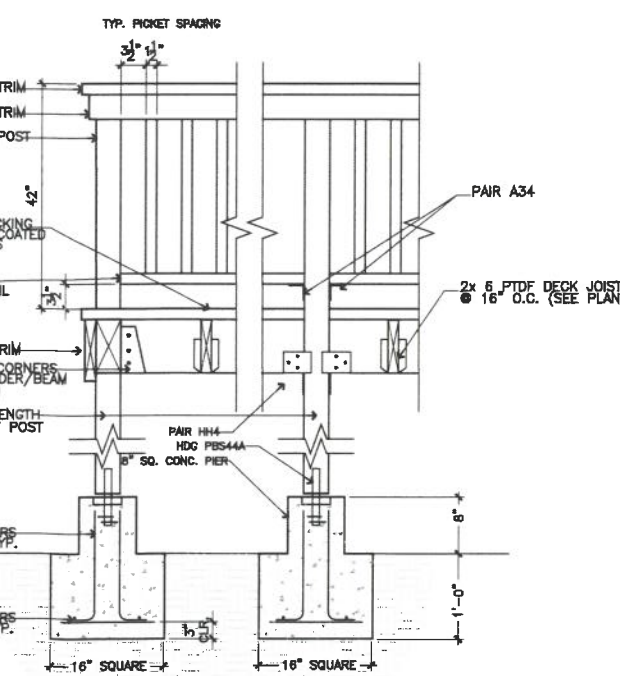
5 DETAIL: GABLE EAVE
SCALE: 1"=1'-0"



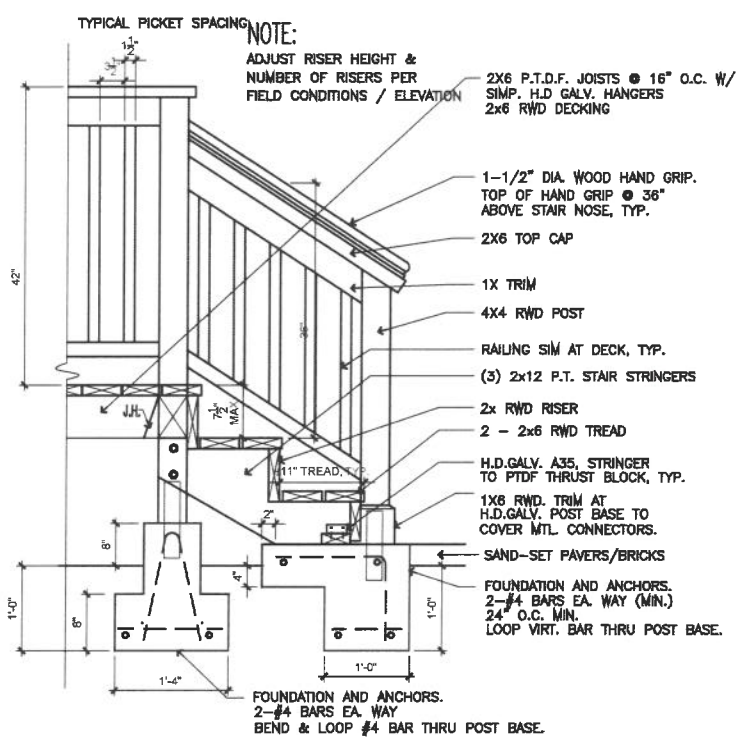
1 DETAIL: ROOF/WALL
SCALE: 1"=1'-0"



2 DETAIL: CANTILEVER
SCALE: 1"=1'-0"



3 DETAIL: WOOD DECK
SCALE: 1"=1'-0"



JEANNE C. BYRNE, FAIA
ARCHITECT
391 LEITCHFIELD AVE., SUITE #5
PACIFIC GROVE, CALIFORNIA 93950
(805) 227-0395 FAX (805) 227-8159

DETAIL

GEORGE
REVISED FAMILY REPAIRS E.P.O.R.
1033 STEEP CREEK RD.
PACIFIC GROVE, CA 93950
AEP 14.006.022.009

A4.1

MONTEREY PENINSULA WATER MANAGEMENT DISTRICT RESIDENTIAL WATER RELEASE FORM AND WATER PERMIT APPLICATION

NOTE: When approved and signed by the jurisdictions, this form must be submitted with final and complete Construction Plans to:

Monterey Peninsula Water Management District Permit Office
5 Harris Court, Bldg. G ♦ Monterey, CA 93940 ♦ (831) 658-5601 ♦ www.mpwmd.net ♦ Fax (831) 644-9558
Completing the Water Release Form & Water Permit Application does not guarantee issuance of a Water Permit.

ALL SPACES BELOW MUST BE COMPLETED OR THE APPLICATION MAY NOT BE PROCESSED. (Please print firmly)

1. OWNERSHIP INFORMATION:

Name: BILL & CHARITY GEORGE Name: JEANNE C. BYRNE, FAIA ARCHITECTS
 Daytime telephone: 916 929 7857 Daytime telephone: 372 6585
 Mailing Address: 1319 FITCH WAY Mailing Address: 591 LIGHTHOUSE AVE. #5
 E-Mail Address: SACRAMENTO, CA 95864 E-Mail Address: TGBARCH FAIA ARCHIT. NST

3. PROPERTY INFORMATION:

Existing Square-footage 1842 Proposed Square-footage 2964
 Address: 112A SURF AVE. PACIFIC GROVE Assessor Parcel Number 006 - 022 - 009

Water company serving parcel: CAL. AM Is a water meter needed? YES or **(NO)** If yes, how many? _____

NOTE: Separate water meters are required for each User. Residential uses require separate meters for all auxiliary housing that includes a kitchen.

4. PROJECT DESCRIPTION (Be thorough and detailed):

NEW SINGLE FAMILY RESIDENCE TO REPLACE EXISTING RESIDENCE TO BE REMOVED.

5. INSTRUCTIONS: Table #1 should list the fixtures on the property as they exist before the project. Table #2 should reflect all fixtures on the property after the project is completed. Only one Master Bathroom can be designated per dwelling unit.

Table No. 1 Existing Property Fixture Count
(All fixtures before project)

Type of Fixture	Fixture	Value	Count
Washbasin	<u>2</u>	x 1.0 =	<u>2.0</u>
Two Washbasins in the Master Bathroom		x 1.0 =	
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	<u>2</u>	x 1.8 =	<u>3.6</u>
Toilet, High Efficiency (HET)		x 1.3 =	
Toilet, Ultra High Efficiency (UHET)		x 0.8 =	
Urinal, Pint (0.125 gallon maximum)		x 0.1 =	
Urinal, Zero Water Consumption		x 0.0 =	
Masterbath (one per Dwelling): Tub&Shower Stall		x 3.0 =	
Large Bathtub (may have Showerhead above)		x 3.0 =	
Standard Bathtub or Shower Stall (one head)	<u>1</u>	x 2.0 =	<u>2.0</u>
Shower, each additional (heads, body spray, etc)		x 2.0 =	
Shower system, Rain Bar/ Custom Shower (specs)		x 2.0 =	
Kitchen Sink (with optional Dishwasher)	<u>1</u>	x 2.0 =	<u>2.0</u>
Kitchen Sink with High Efficiency Dishwasher		x 1.5 =	
Dishwasher, each additional (with optional sink)		x 2.0 =	
Dishwasher, High Efficiency (with opt. sink)		x 1.5 =	
Laundry Sink/Utility Sink (one per Site)	<u>1</u>	x 2.0 =	<u>2.0</u>
Clothes Washer	<u>2</u>	x 2.0 =	<u>4.0</u>
Clothes Washer, (HEW) 5.0 water factor or less		x 1.0 =	
Bidet		x 2.0 =	
Bar Sink	<u>1</u>	x 1.0 =	<u>1.0</u>
Entertainment Sink		x 1.0 =	
Vegetable Sink		x 1.0 =	
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0 =	
Other		x _____ =	
Other		x _____ =	
Other		x _____ =	

• Use this fixture count if a previous Permit was issued utilizing the Master Bathroom Credit. (Tub may be large.) See District staff for more information.

EXISTING FIXTURE UNIT COUNT TOTAL = 16.6

Table No. 2 Post Project Fixture Count
(All fixtures after project)

Type of Fixture	Fixture	Value	Count
Washbasin	<u>2</u>	x 1.0 =	<u>2.0</u>
Two Washbasins in the Master Bathroom	<u>1</u>	x 1.0 =	<u>1.0</u>
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)		x 1.8 =	
Toilet, High Efficiency (HET)	<u>3</u>	x 1.3 =	<u>3.9</u>
Toilet, Ultra High Efficiency (UHET)		x 0.8 =	
Urinal, Pint (0.125 gallon maximum)		x 0.1 =	
Urinal, Zero Water Consumption		x 0.0 =	
Masterbath (one per Dwelling): Tub&Shower Stall	<u>1</u>	x 3.0 =	<u>3.0</u>
Large Bathtub (may have Showerhead above)		x 3.0 =	
Standard Bathtub or Shower Stall (one head)	<u>1</u>	x 2.0 =	<u>2.0</u>
Shower, each additional (heads, body spray, etc)		x 2.0 =	
Shower system, Rain Bars/Custom Shower (specs)		x 2.0 =	
Kitchen Sink (optional dishwasher)		x 2.0 =	
Kitchen Sink with High Efficiency Dishwasher	<u>1</u>	x 1.5 =	<u>1.5</u>
Dishwasher, each additional (optional sink)		x 2.0 =	
Dishwasher, High Efficiency (with opt. sink)		x 1.5 =	
Laundry Sink/Utility Sink (one per Site)		x 2.0 =	
Clothes Washer		x 2.0 =	
Clothes Washer, (HEW) 5.0 water factor or less	<u>1</u>	x 1.0 =	<u>1.0</u>
Bidet		x 2.0 =	
Bar Sink	<u>1</u>	x 1.0 =	<u>1.0</u>
Entertainment Sink		x 1.0 =	
Vegetable Sink	<u>1</u>	x 1.0 =	<u>1.0</u>
Instant-Access-Hot-Water System (fixture credit)		x -0.5 =	
Subtotal proposed indoor fixtures		=	
New Connection – Refer to District Rule 24-A5		=	
“Exterior Residential Water Demand Calculations”		=	
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0 =	

PROPOSED FIXTURE UNIT COUNT TOTAL = 16.4

In completing the Water Release Form, the undersigned acknowledges that any discrepancy or mistake may cause rejection or delay in processing of the application. Additionally, the undersigned is responsible for accurately accounting for all water fixtures. If the fixture unit count changes without notification to the District, or if a difference in fixtures is documented upon official inspection, Water Permits for the property may be canceled. In addition, water fixtures installed without a Water Permit may be cause for interruption of the water service to the Site, additional fees and penalties, the imposition of a lien on the property, and deduction of water from the local Jurisdiction’s Allocation. The property owner/Applicant is required to notify the District and provide Construction Plans as appropriate for each change in the Project made prior to use or occupancy that may affect the Project’s Capacity to use water. **“PUBLIC ACCESS TO WATER RECORDS” DEED RESTRICTION IS REQUIRED FOR ALL WATER PERMITS.**

6. I certify, under penalty of perjury, that the information provided on this Water Release Form & Water Permit Application is to my knowledge correct, and the information accurately reflects water use presently planned for this property.

Signature of Owner/Agent PAUL SIMPSON - JOB ARCHITECTS

File or Plan Check Number _____

Date 07-26-17

Location Where Signed P.G.

AUTHORIZATION FOR WATER PERMIT – JURISDICTION USE ONLY

AF Paralta Allocation _____ AF Public Credits _____ AF Second Bathroom Protocol _____
 AF Pre-Paralta Credits _____ WDS (Private Well) _____ Water Entitlement _____ No water needed _____

Notes: _____ Authorized by: _____ Date: _____

This form expires one year from date of authorization for this project by the jurisdiction.
 White copy-MPWMD Yellow copy-applicant

